

# ADVANCE AUTO PARTS STORE 105349

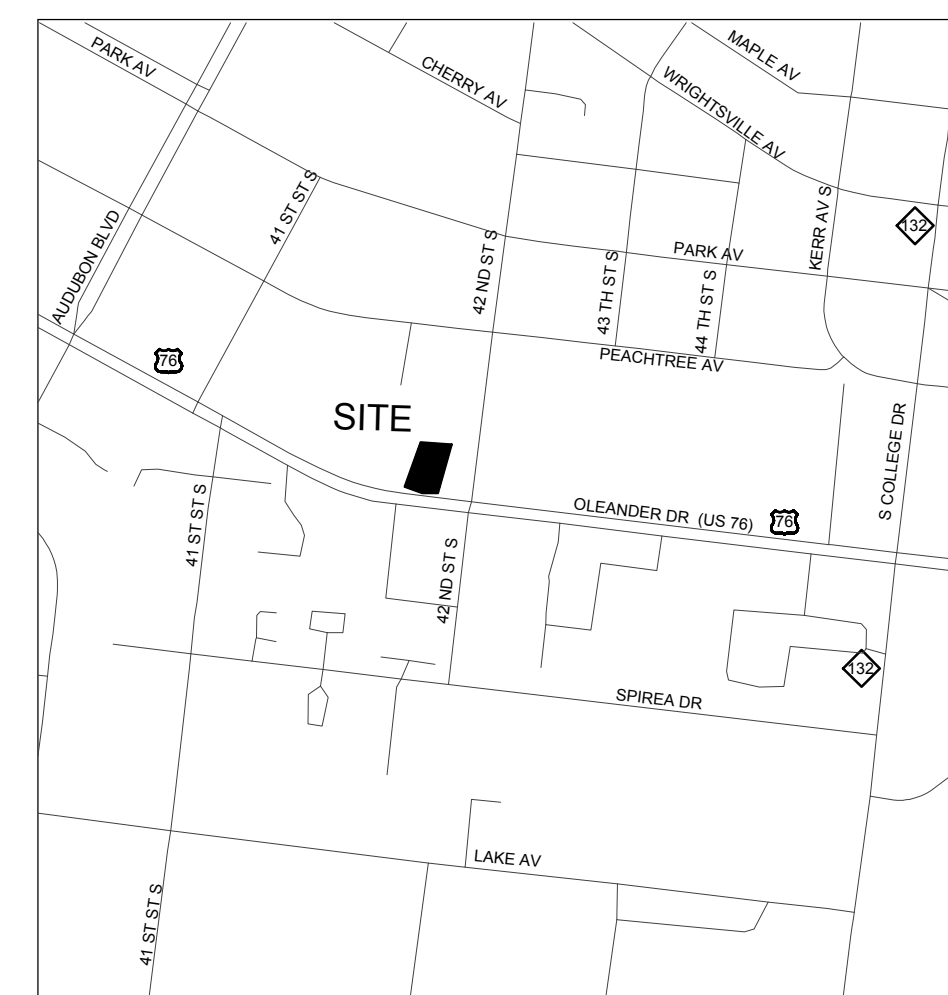
4121 OLEANDER DRIVE  
WILMINGTON, NORTH CAROLINA

## CONSTRUCTION DOCUMENTS

OCTOBER 2016

FOR

4121 OLEANDER DRIVE, LLC  
1131-B Military Cutoff Road, Wilmington, NC 28405



VICINITY MAP  
NOT TO SCALE

**PROPERTY OWNER/DEVELOPER:**

4121 OLEANDER DRIVE, LLC  
1131-B MILITARY CUTOFF ROAD  
WILMINGTON, NC 28405  
ATTN: CLAUDE ARNOLD OR JASON SWAIN  
PHONE: (910) 256-2211

**LAND SURVEYOR, LANDSCAPE ARCHITECT & CIVIL ENGINEER:**

PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: J. BRANCH SMITH, PE  
PHONE: (910) 791-6707

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

**CONTACT THESE UTILITIES**

CITY OF WILMINGTON PLANNING & DEVELOPMENT  
ATTN: BRIAN CHAMBERS, PLANNER  
PH: 910-342-2782

ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

PIEDMONT NATURAL GAS  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

EMERGENCY DIAL 911  
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)  
ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

DUKE ENERGY  
DISTRIBUTION CONSTRUCTION SERVICE  
BRIAN WEST  
PH: 910-256-7223  
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT  
BILL WILDER  
PH: 910-772-4903

AT&T/BELL SOUTH  
ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1621

TIME WARNER CABLE  
PH: 910-763-4638



Know what's below.  
Call before you dig.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

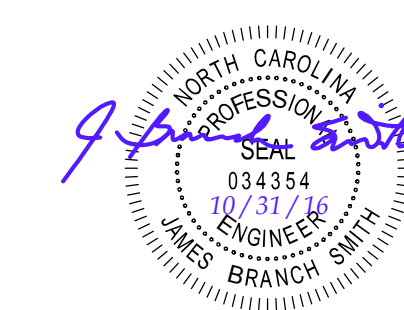
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Signed: \_\_\_\_\_



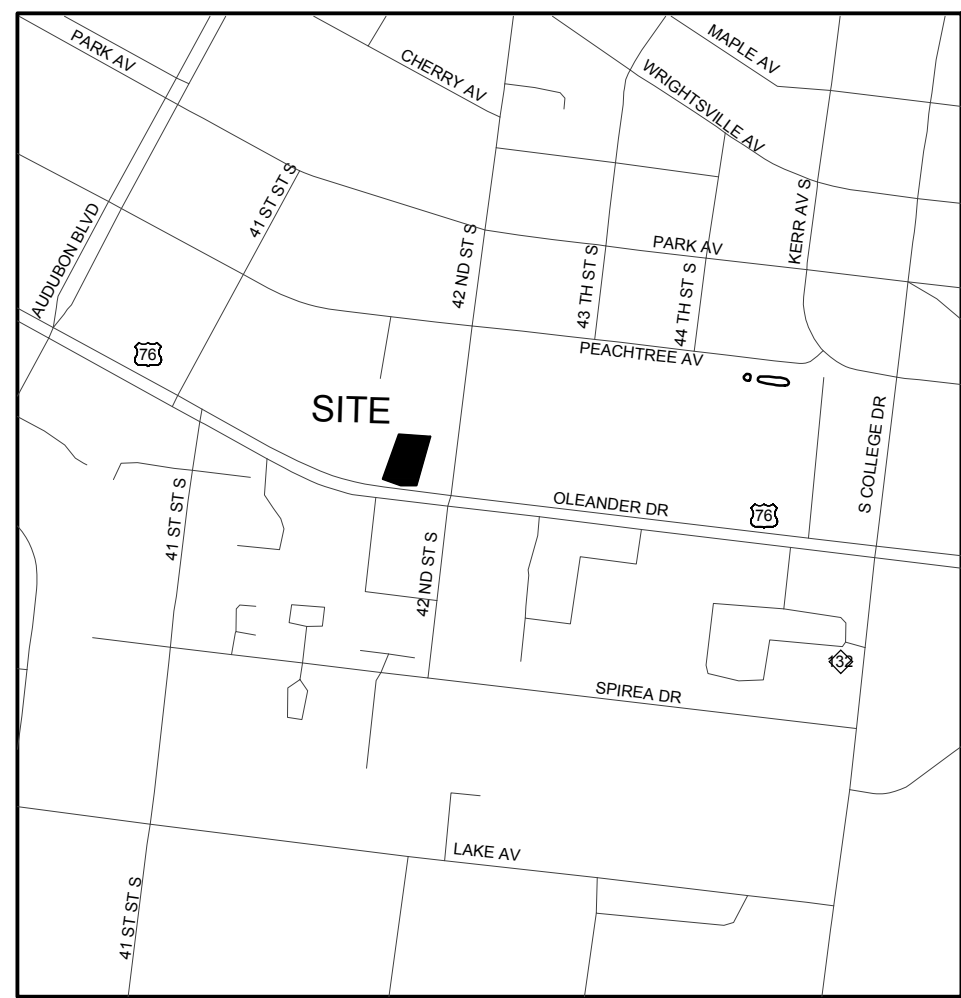
SHEET INDEX	
SHEET NUMBER	SHEET TITLE
	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE INVENTORY (DEMOLITION) PLAN
C-2.1	SITE AND UTILITY PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	DETAILS
L-1.0	LANDSCAPE PLAN



122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846  
PROJECT # 15332.PE

RELEASED FOR CONSTRUCTION

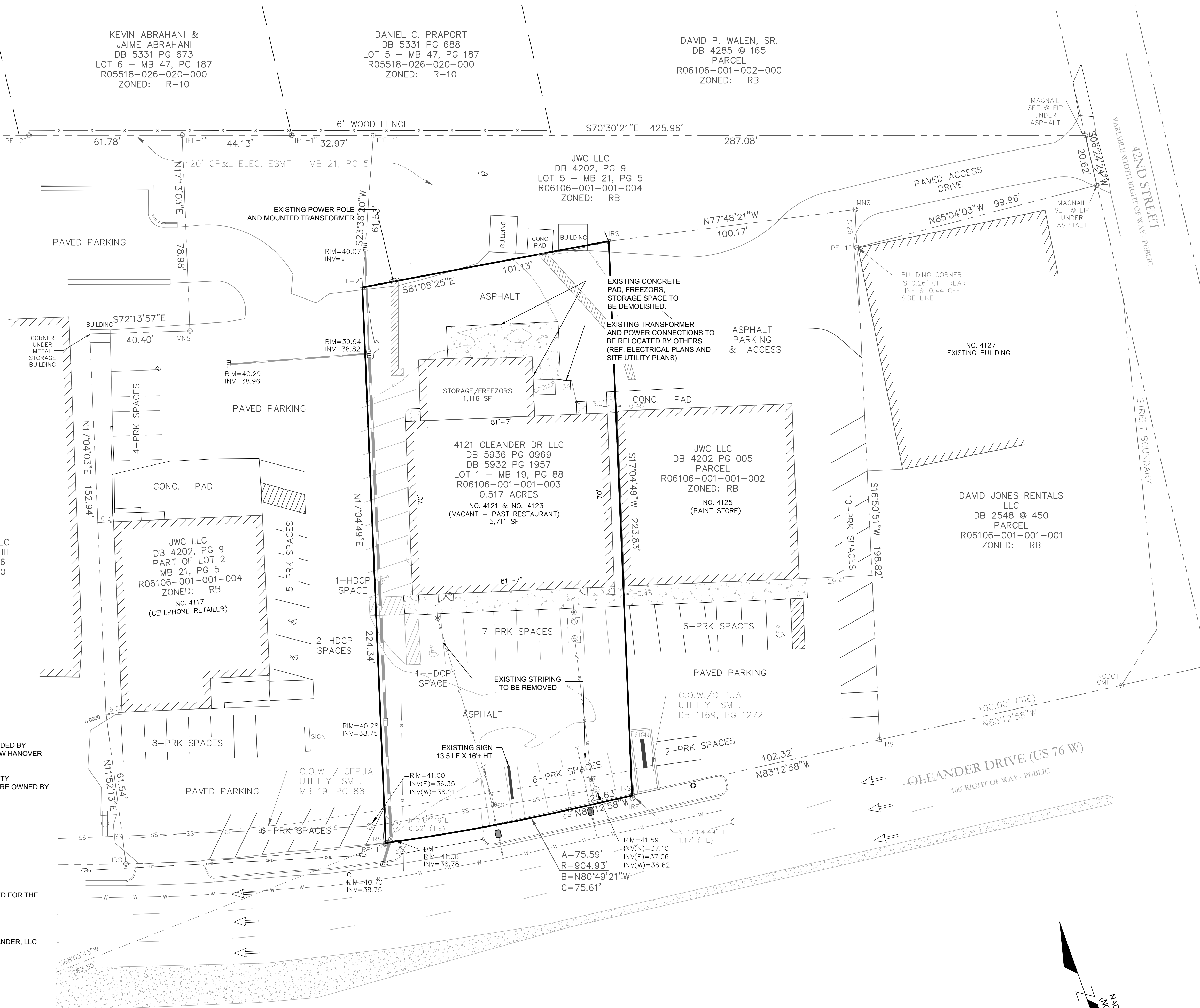




**LOCATION MAP**  
NOT TO SCALE

- LEGEND:**
- OHE — OVERHEAD ELECTRIC
  - UTL — BURIED TELEPHONE LINE
  - G — BURIED GAS LINE
  - TV — BURIED TV CABLE
  - FO — BURIED FIBER OPTIC
  - W — WATER LINE
  - SS — SANITARY SEWER LINE
  - SD — STORM DRAINAGE LINE
  - X — FENCE (TYPE AS SPECIFIED)
  - — — — — EXISTING CONTOUR
  - — — — — RIGHT OF WAY/BOUNDARY
  - — — — — BOUNDARY LINE

ANDERSON SQUARE, LLC  
CONDOMINIUM—PHASE III  
CONDO BK 15, PG 186  
R05518-026-015-000  
ZONED: RB



**SITE INVENTORY NOTES**

1. SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
2. EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.
3. NO TREES ARE ON THE PROPERTY.
4. SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
5. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
6. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
7. NO 404 WETLAND AREAS EXIST ON THE SITE.
8. PORTIONS OF ASPHALT, CONCRETE, AND CURBING WILL BE DEMOLISHED AS NEEDED FOR THE PROPOSED IMPROVEMENTS.

**SITE ACCESS / PARKING NOTE:**

A RECIPROCAL EASEMENT AGREEMENT (DB 5932, PG 1957) EXISTS BETWEEN 4121 OLEANDER, LLC AND J.W.C., LLC FOR ACCESS AND MAINTENANCE OF THE ADJOINING ASPHALT DRIVES.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

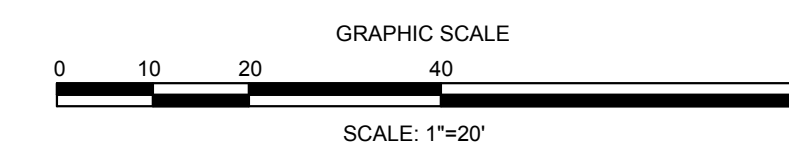
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

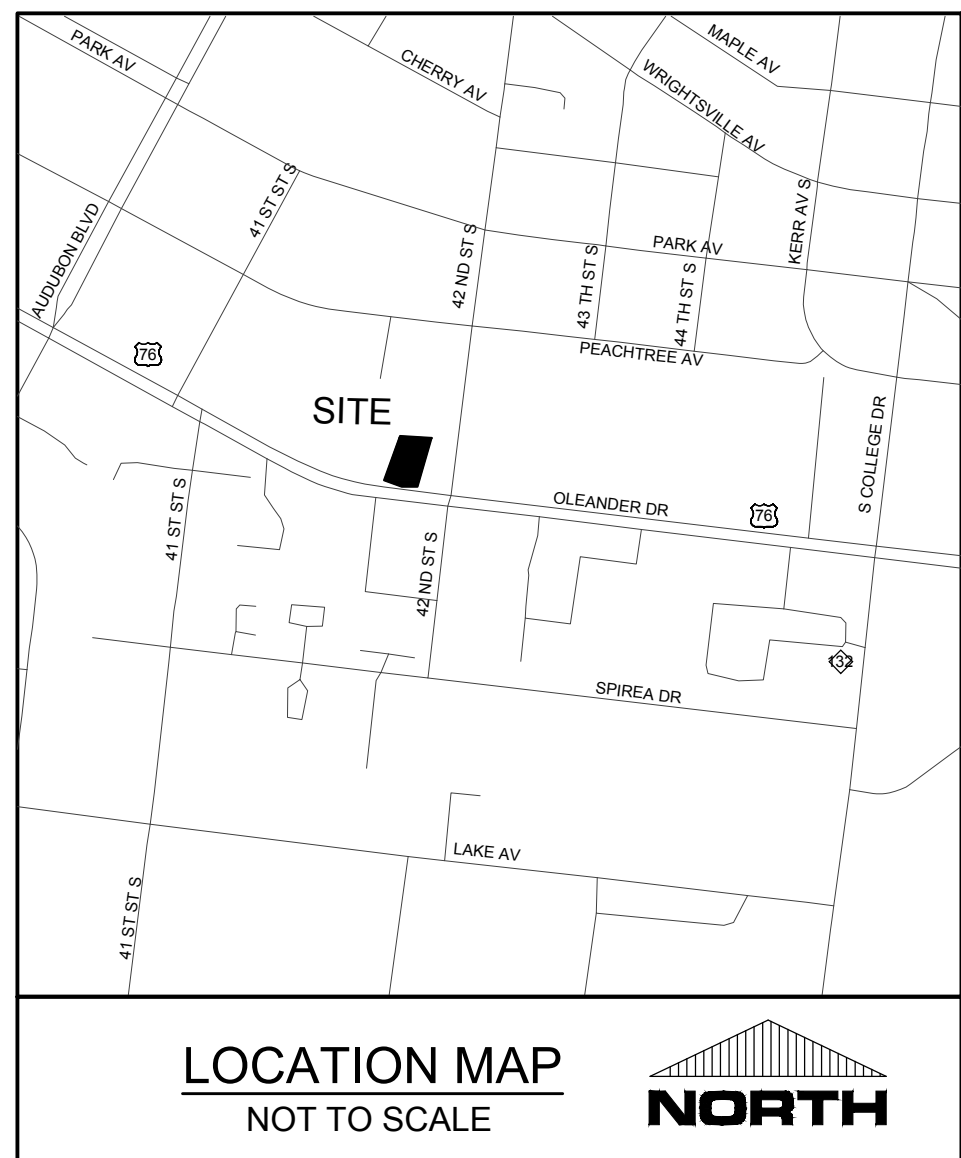
Traffic \_\_\_\_\_

Fire \_\_\_\_\_



RELEASED FOR CONSTRUCTION

<b>REVISIONS:</b>	
<b>CLIENT INFORMATION:</b>	
<p><b>PARAMOUNT ENGINEERING, INC.</b> 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p><b>SITE INVENTORY PLAN (DEMOLITION PLAN)</b> 4121 OLEANDER DRIVE CITY OF WILMINGTON NEW HANOVER COUNTY, NC</p>	
<p><b>PROJECT STATUS:</b> CONCEPTUAL LAYOUT: _____ PRELIMINARY LAYOUT: _____ RELEASED FOR CONST: _____</p>	<p><b>DRAWING INFORMATION:</b> DATE: 3/16/18 DESIGNED: RFB DRAWN: CLM CHECKED: RFB</p>
<p>SEAL NORTH CAROLINA PROFESSIONAL ENGINEER 034354 10/31/17 BRANCH SWH</p>	
<p><b>C-2.0</b></p>	
<p>PEI JOB#: 15332.PE</p>	



**SITE DATA**  
 PROJECT NAME: ADVANCE AUTO PARTS STORE #105349  
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403  
 NHC PIN: R06106-001-001-003  
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC  
 SOURCE DEED: DEED BOOK 5932, PAGE 1957  
 AREA: 22,509± SF OR 0.52± ACRES  
 ZONING: RB (REGIONAL BUSINESS)  
 PROPOSED USE: RETAIL (AUTO PARTS SALES)  
 CAMA LAND USE: URBAN  
 EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

**DIMENSION REQUIREMENTS**

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'

MAXIMUM HEIGHT: 35' (REQUIRED) / 16'-2" (PROVIDED)

**BUILDING INFORMATION**  
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)  
 EXISTING BUILDING LOT COVERAGE: 30.3%  
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)  
 TOTAL BUILDING AREA PROPOSED: 7,504 SF  
 PROPOSED BUILDING LOT COVERAGE: 33.3%  
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

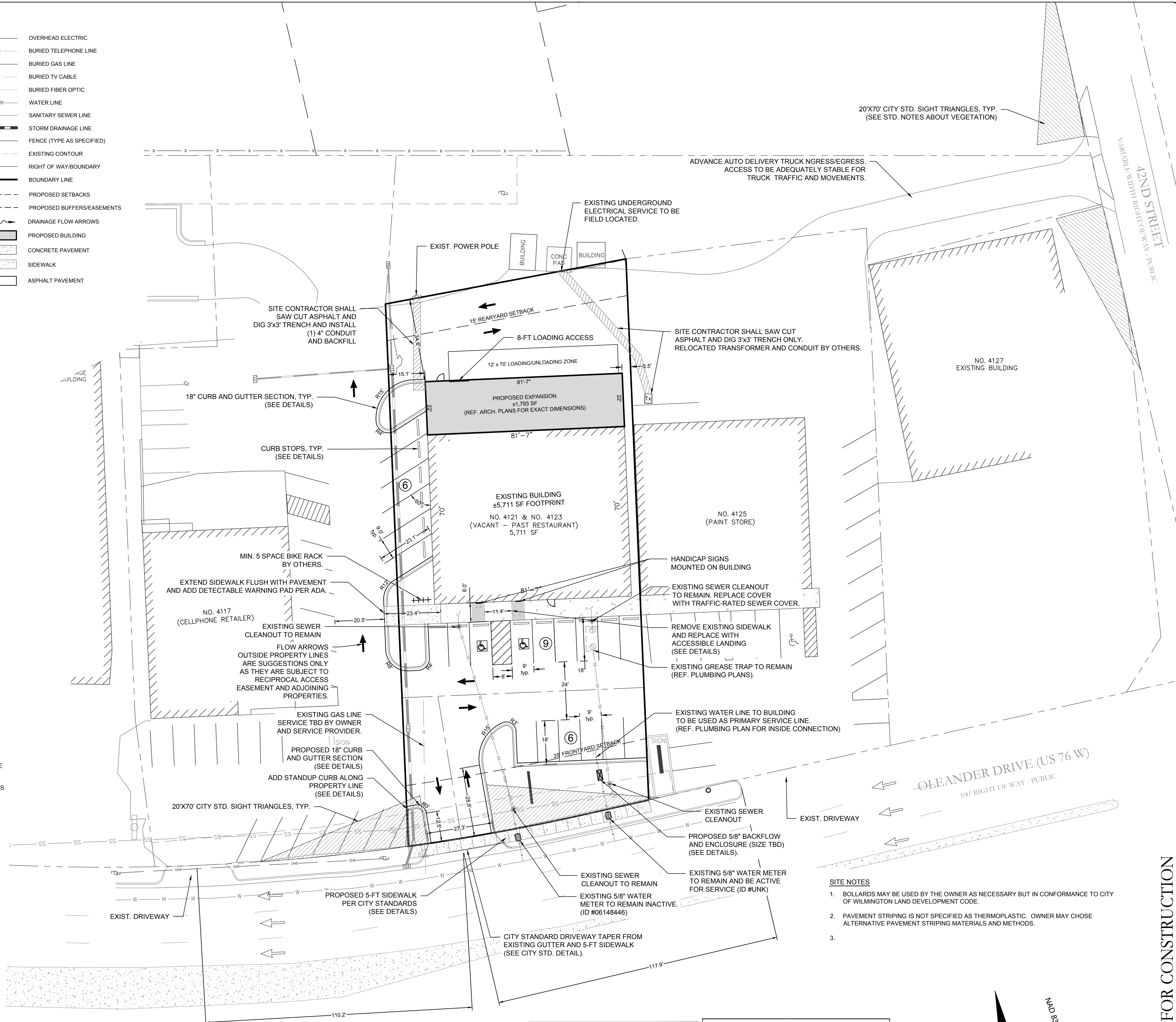
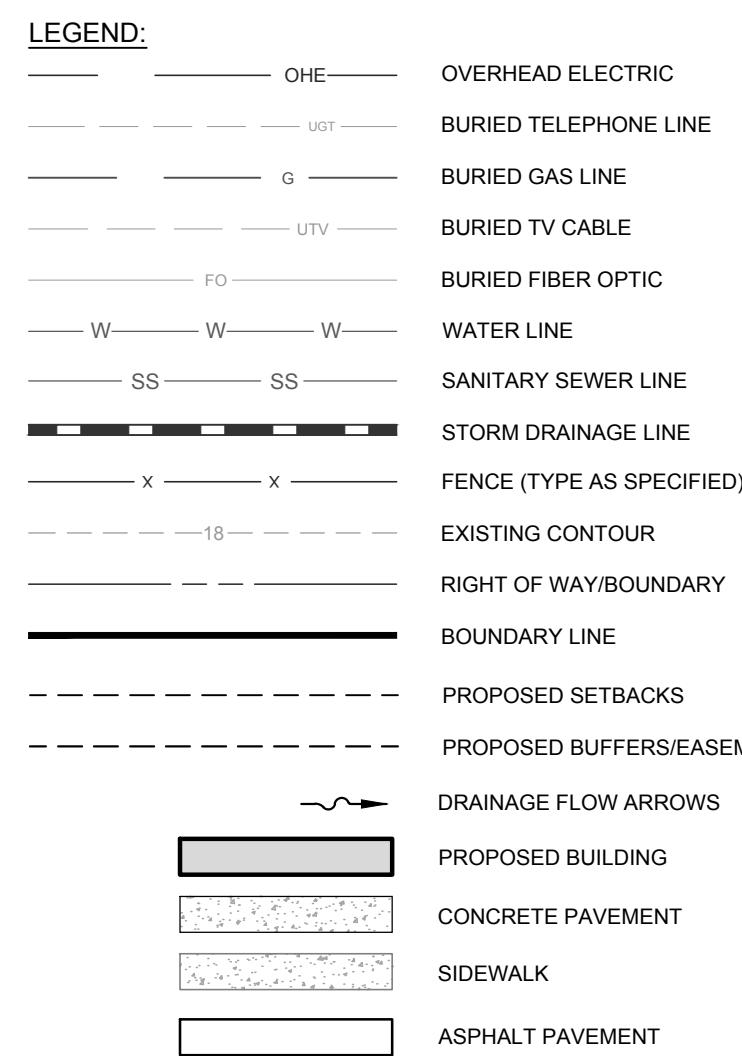
**PARKING INFORMATION**  
 PARKING REQUIREMENTS (RETAIL):  
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 18.8  
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 37.5  
 PROVIDED: 21 SPACES  
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES  
 HC SPACES PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 5 SPACES  
 BICYCLE PARKING PROVIDED: 5 SPACES

**IMPERVIOUS CALCULATIONS**  
 EXISTING BUILDING: 6,827 SF  
 EXISTING PAVEMENT: 13,956 SF  
 EXISTING CONCRETE: 2,088 SF  
 EXISTING TOTAL: 22,871 SF  
 PROPOSED BUILDING EXP.: 1,793 SF  
 PROPOSED CURBING - WALKS: 590 SF  
 PROPOSED TOTAL IMPERVIOUS: 2,383 SF ± 2500 SF

POST-DEVELOPED IMPERVIOUS TOTAL: 20,525 SF (NET -2,346 SF)

**SITE INVENTORY NOTES**

- SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
- EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
- NO TREES ARE ON THE PROPERTY.
- SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
- SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
- SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
- NO 404 WETLAND AREAS EXIST ON THE SITE.
- ALL UTILITIES TO REMAIN UNDERGROUND. GREASE TRAPS MAY NEED TO BE ABANDONED AND FILLED AND CLEANOUTS REROUTED. OVERHEAD POWER TO REMAIN. UTILITIES SHALL CONFORM TO CROSS-CONNECTION REGULATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
- TRASH TO BE STORED IN ROLL-OUT CONTAINER(S) FROM STORE. SHARED DUMPSTER BETWEEN ADJOINING OWNERS IS NOT PLANNED AT THIS TIME.
- NEW BUILDING SIGNS WILL BE LOCATED AND APPROVED BY THE NEW HANOVER COUNTY PLANNING DEPARTMENT. SITE FREESTANDING SIGNS OR MODIFICATIONS TO BE APPROVED BY CITY OF WILMINGTON.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREA SHALL BE WHITE.
- NO EXISTING DRIVEWAYS ARE TO BE CLOSED UNLESS NCDOT PLANS SPECIFY OTHERWISE.
- HEATING/AIR EQUIPMENT IS LOCATED WITHIN THE BUILDING FOOTPRINT.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- ANY GROUND LEVEL MECHANICAL EQUIPMENT TO BE SCREENED AS NECESSARY.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN 30-INCHES AND 10-FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.



20'X70' CITY STD. SIGHT TRIANGLES, TYP. (SEE STD. NOTES ABOUT VEGETATION)

ADVANCE AUTO DELIVERY TRUCK NGRESS/EGRESS ACCESS TO BE ADEQUATELY STABLE FOR TRUCK TRAFFIC AND MOVEMENTS.

EXISTING UNDERGROUND ELECTRICAL SERVICE TO BE FIELD LOCATED.

SITE CONTRACTOR SHALL SAW CUT ASPHALT AND DIG 3'X3' TRENCH AND INSTALL (1) 4" CONDUIT AND BACKFILL

SITE CONTRACTOR SHALL SAW CUT ASPHALT AND DIG 3'X3' TRENCH ONLY. RELOCATED TRANSFORMER AND CONDUIT BY OTHERS.

PROPOSED EXPANSION 1,793 SF (REF. ARCH. PLANS FOR EXACT DIMENSIONS)

EXISTING BUILDING 5,711 SF FOOTPRINT (NO. 4121 & NO. 4123 (VACANT - PAST RESTAURANT) 5,711 SF)

NO. 4125 (PAINT STORE)

MIN. 5 SPACE BIKE RACK BY OTHERS.  
 EXTEND SIDEWALK FLUSH WITH PAVEMENT AND ADD DETECTABLE WARNING PAD PER ADA.

HANDICAP SIGNS MOUNTED ON BUILDING

EXISTING SEWER CLEANOUT TO REMAIN. REPLACE COVER WITH TRAFFIC-RATED SEWER COVER.

REMOVE EXISTING SIDEWALK AND REPLACE WITH ACCESSIBLE LANDING (SEE DETAILS)

EXISTING GREASE TRAP TO REMAIN (REF. PLUMBING PLANS)

EXISTING WATER LINE TO BUILDING TO BE USED AS PRIMARY SERVICE LINE. (REF. PLUMBING PLAN FOR INSIDE CONNECTION)

NO. 4117 (CELLPHONE RETAILER)

EXISTING SEWER CLEANOUT TO REMAIN  
 FLOW ARROWS OUTSIDE PROPERTY LINES ARE SUGGESTIONS ONLY AS THEY ARE SUBJECT TO RECIPROCAL ACCESS EASEMENT AND ADJOINING PROPERTIES.

EXISTING GAS LINE SERVICE TBD BY OWNER AND SERVICE PROVIDER.

PROPOSED 18" CURB AND GUTTER SECTION (SEE DETAILS)  
 ADD STANDUP CURB ALONG PROPERTY LINE (SEE DETAILS)

20'X70' CITY STD. SIGHT TRIANGLES, TYP.

PROPOSED 5/8" BACKFLOW AND ENCLOSURE (SIZE TBD) (SEE DETAILS).

EXISTING SEWER CLEANOUT TO REMAIN

EXISTING 5/8" WATER METER TO REMAIN AND BE ACTIVE FOR SERVICE (ID #UNK)

PROPOSED 5-FT SIDEWALK PER CITY STANDARDS (SEE DETAILS)

CITY STANDARD DRIVEWAY TAPER FROM EXISTING GUTTER AND 5-FT SIDEWALK (SEE CITY STD. DETAIL).

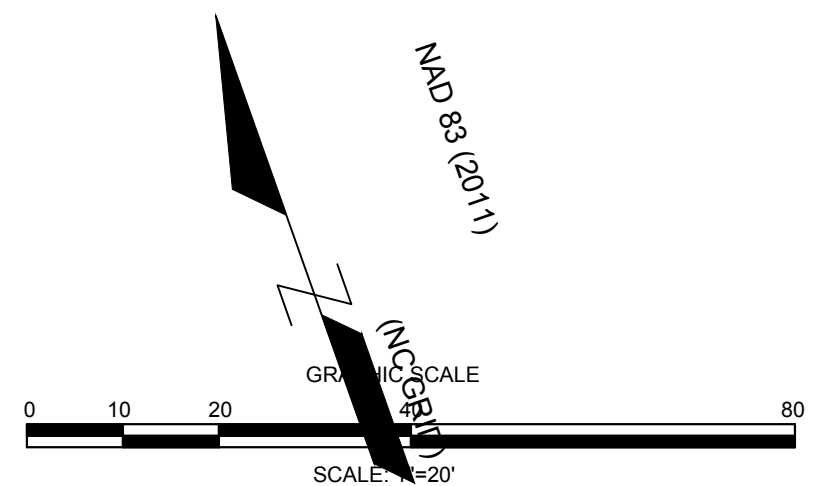
**SITE NOTES**

- BOLLARDS MAY BE USED BY THE OWNER AS NECESSARY BUT IN CONFORMANCE TO CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PAVEMENT STRIPING IS NOT SPECIFIED AS THERMOPLASTIC. OWNER MAY CHOSE ALTERNATIVE PAVEMENT STRIPING MATERIALS AND METHODS.

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**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: \_\_\_\_\_

Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 Approved Construction Plan



RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:  
 4121 OLEANDER DRIVE, LLC  
 1131-B MILITARY CUTOFF ROAD  
 WILMINGTON, NC 28405

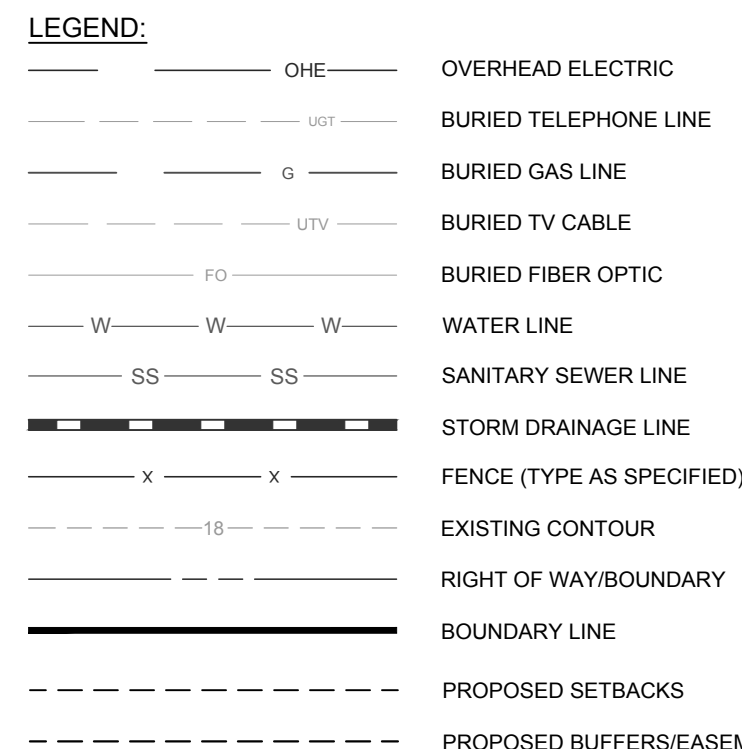
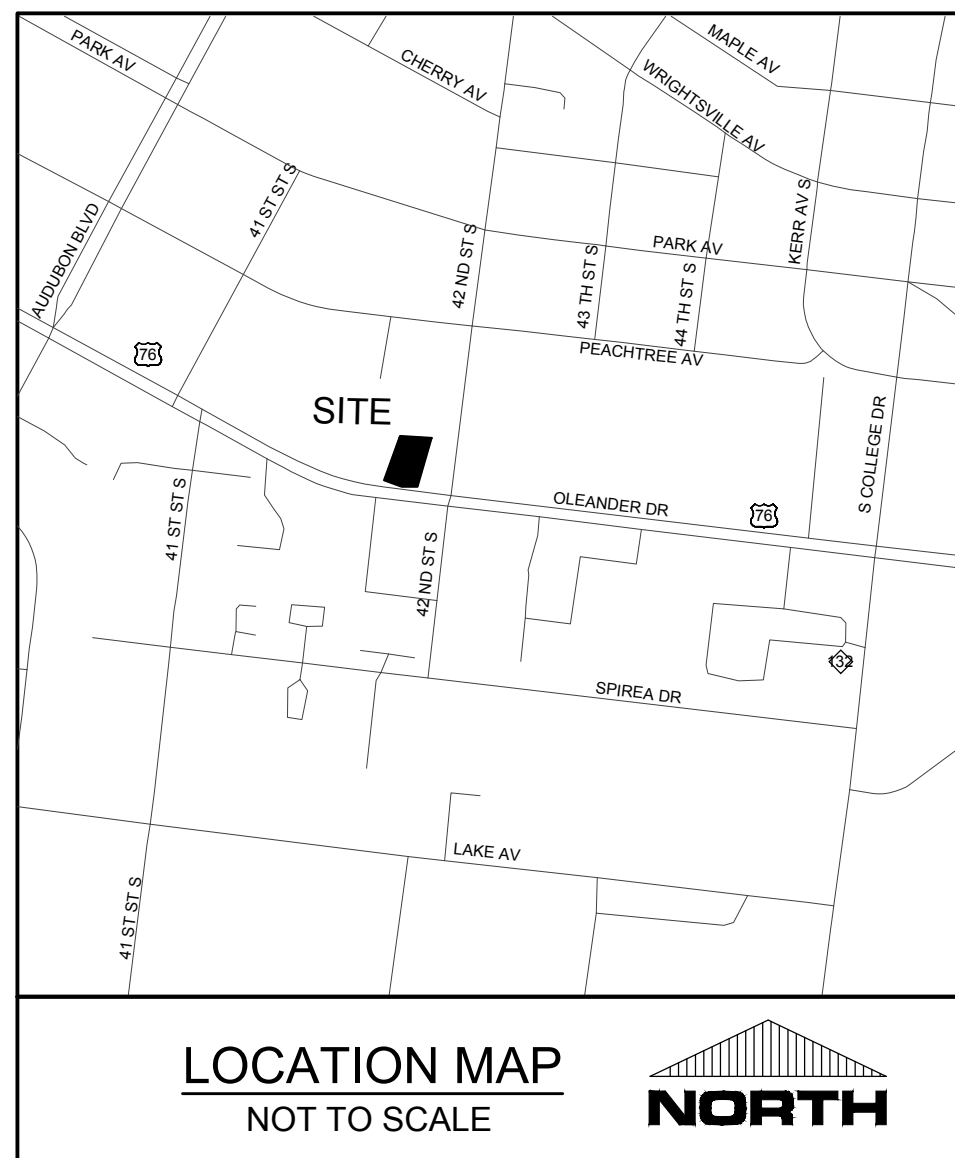
**PARAMOUNT**  
 ENGINEERING, INC.  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-0707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**SITE & UTILITY PLAN**  
 4121 OLEANDER DRIVE  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

PROJECT STATUS:  
 CONCEPTUAL LAYOUT:  
 PRELIMINARY LAYOUT:  
 RELEASED FOR CONST.  
 DRAWING INFORMATION:  
 DATE: 3/10/18  
 DESIGNED: RFB  
 DRAWN: CLM  
 CHECKED: RFB

SEAL  
 NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 034354  
 10/31/17  
 WILMINGTON BRANCH SOUTH

**C-2.1**  
 PEI JOB#: 15332.PE

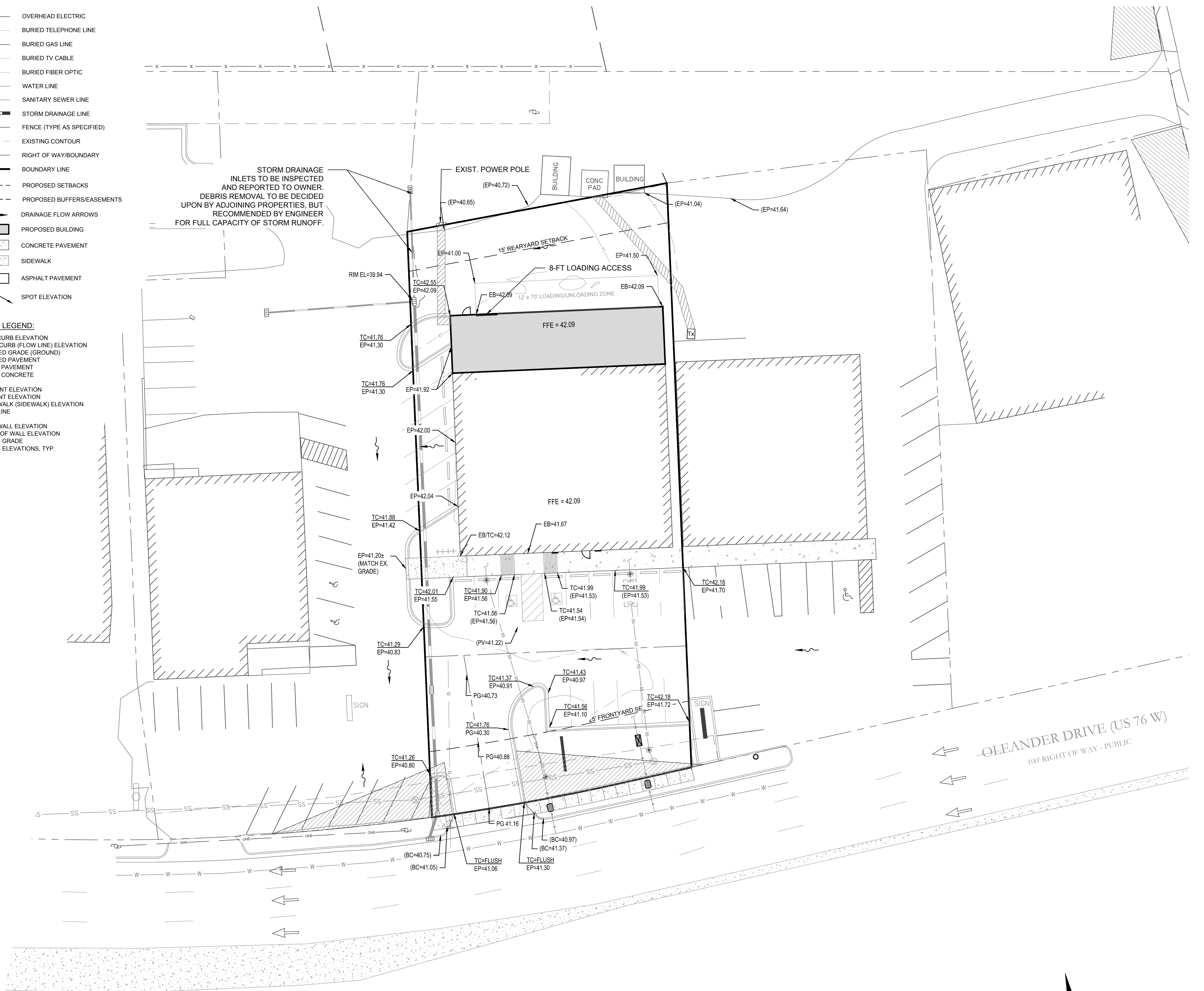


**SPOT GRADE LEGEND:**

TC = TOP OF CURB ELEVATION  
GC = GUTTER CURB (FLOW LINE) ELEVATION  
PG = PROPOSED GRADE (GROUND)  
PV = PROPOSED PAVEMENT  
EP = EDGE OF PAVEMENT  
EC = EDGE OF CONCRETE

HP = HIGH POINT ELEVATION  
LP = LOW POINT ELEVATION  
TW = TOP OF WALK (SIDEWALK) ELEVATION  
CL = CENTERLINE  
INV = INVERT  
TWL = TOP OF WALL ELEVATION  
BWL = BOTTOM OF WALL ELEVATION  
(EG) = EXISTING GRADE  
(XX) = EXISTING ELEVATIONS, TYP.

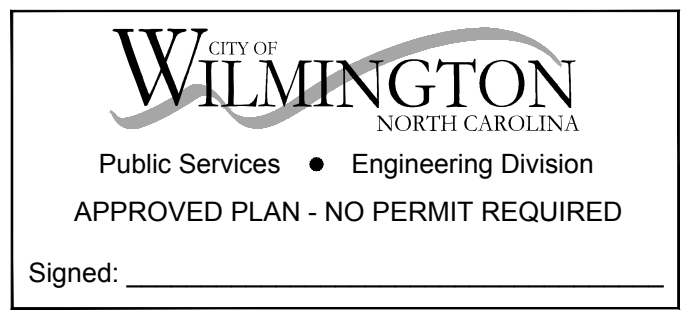
- EROSION CONTROL AND GRADING NOTES:**
- THERE IS NO EROSION CONTROL PERMIT NECESSARY SINCE LAND DISTURBANCE IS LESS THAN 1.0 ACRE. HOWEVER, FOLLOW GUIDELINES AND GENERAL NOTES SHEET FOR GRADING, DRAINAGE, AND EROSION CONTROL.
  - CONTRACTOR SHALL COORDINATE WITH OWNER OR OWNER'S REPRESENTATIVE REGARDING THE SITE'S EXISTING GRADE AFTER DEMOLITION OF THE REAR STRUCTURES.
- ASPHALT, CONCRETE, AND BUILDING PAD NOTES:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUTFILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE IN PAVEMENT AND STRUCTURAL AREAS, IN ACCORDANCE WITH A GEOTECHNICAL REPORT FROM OWNER.
- STORMWATER NOTE:**
- THIS PROJECT DOES NOT REQUIRE A STATE STORMWATER PERMIT OR A STORMWATER MANAGEMENT PERMIT WITH THE CITY OF WILMINGTON. A DRAINAGE PLAN WILL BE APPROVED BY THE CITY AND PROPOSED IMPERVIOUS AREAS ARE TO BE LESS THAN EXISTING IMPERVIOUS ON THE PROPERTY. REFERENCE EXISTING STORM DRAINAGE.



STORM DRAINAGE INLETS TO BE INSPECTED AND REPORTED TO OWNER. DEBRIS REMOVAL TO BE DECIDED UPON BY ADJOINING PROPERTIES, BUT RECOMMENDED BY ENGINEER FOR FULL CAPACITY OF STORM RUNOFF.

OLEANDER DRIVE (US 76 W)  
100' RIGHT OF WAY - PUBLIC

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**Approved Construction Plan**

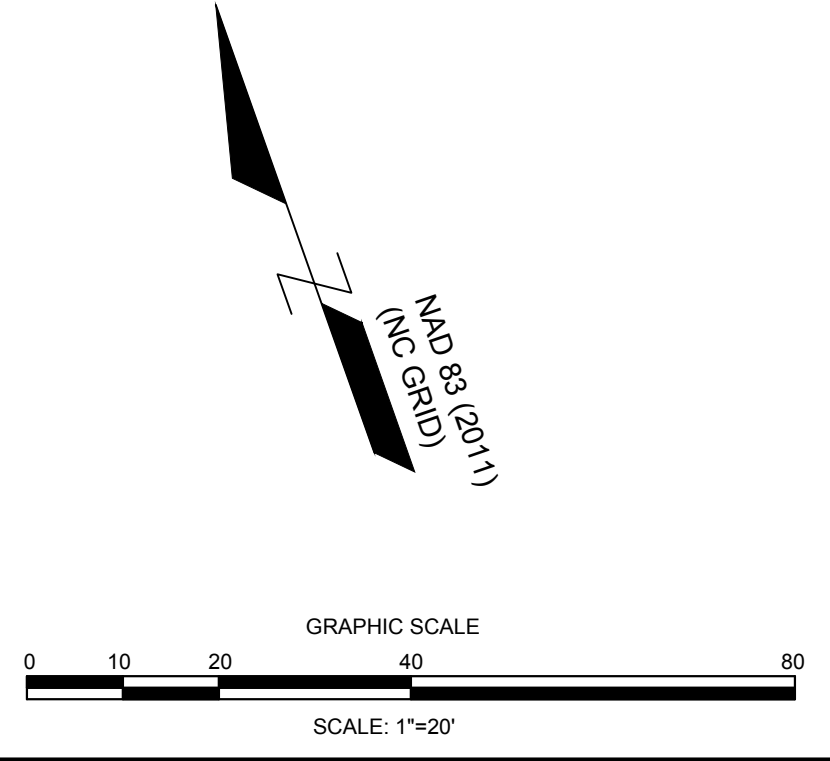
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Signed: \_\_\_\_\_



**REVISIONS:**


**CLIENT INFORMATION:**

4121 OLEANDER DRIVE, LLC  
1131-B MILITARY CUTOFF ROAD  
WILMINGTON, NC 28405

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-0707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**GRADING AND DRAINAGE PLAN**

4121 OLEANDER DRIVE  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

**PROJECT STATUS:**  
CONCEPTUAL LAYOUT: \_\_\_\_\_  
PRELIMINARY LAYOUT: \_\_\_\_\_  
RELEASED FOR CONST: \_\_\_\_\_

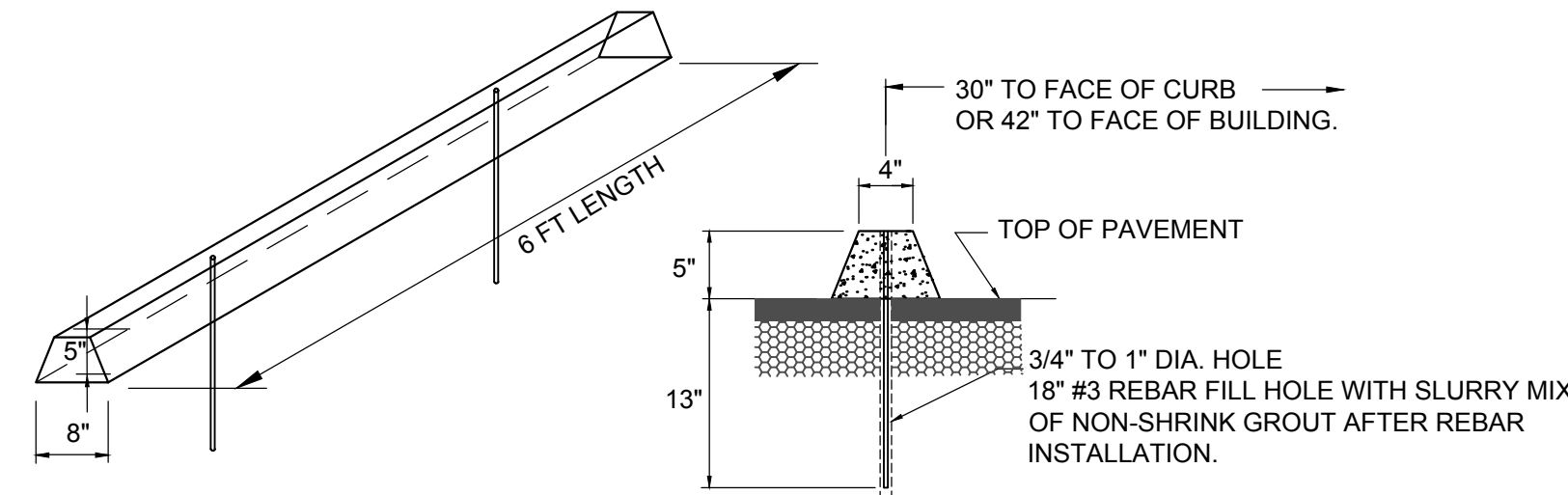
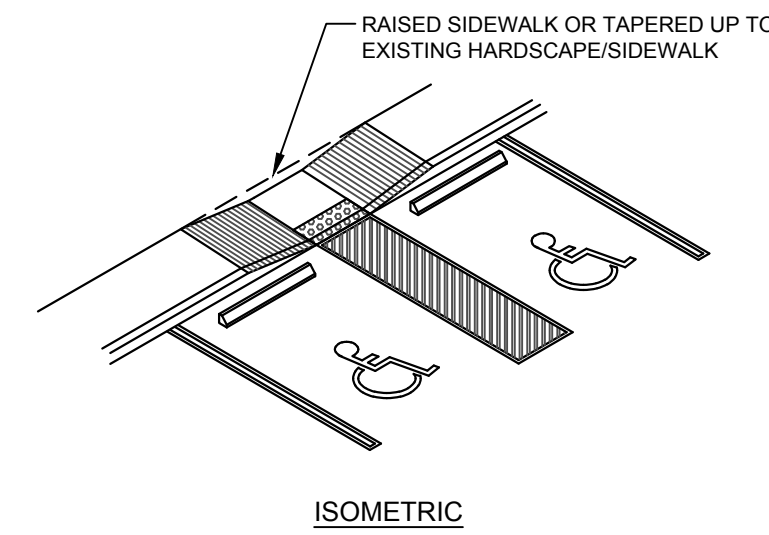
**DRAWING INFORMATION:**  
DATE: 3/10/18  
DESIGNED: RFR  
DRAWN: CLM  
CHECKED: RFB

**SEAL:**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
034354  
3/10/18  
TIMES BRANCH SMITH

**C-3.0**

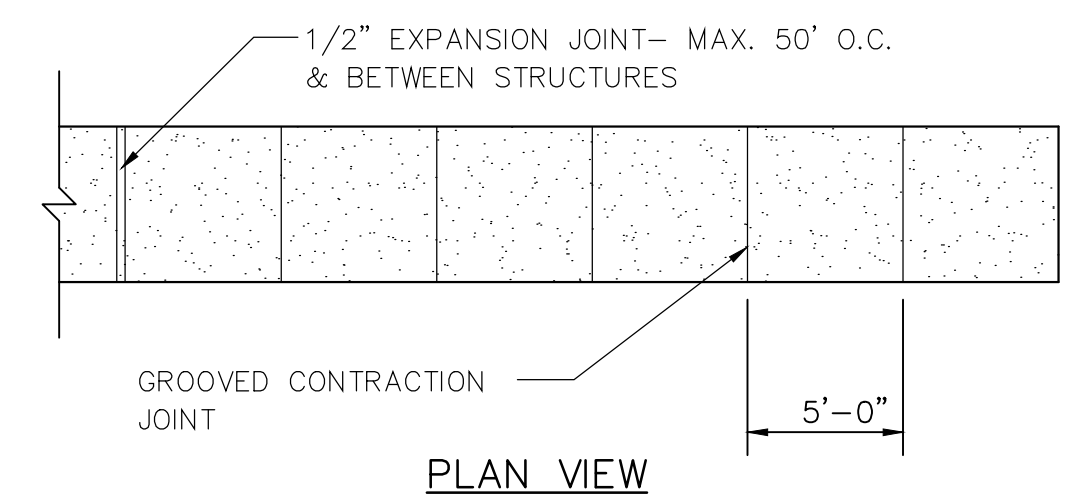
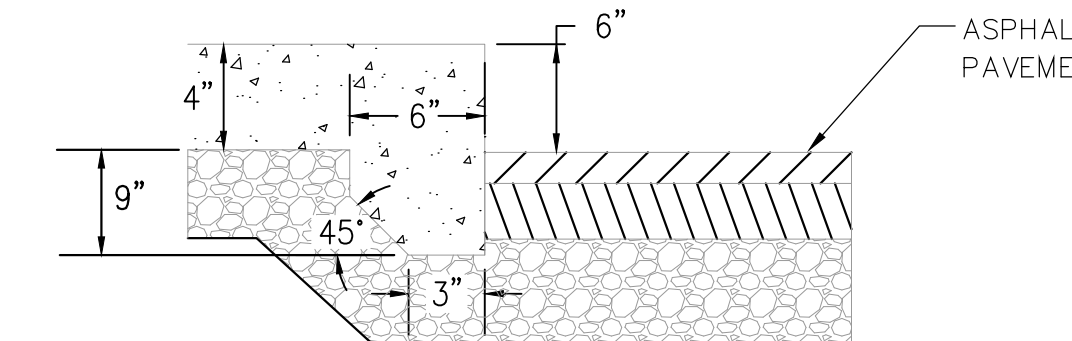
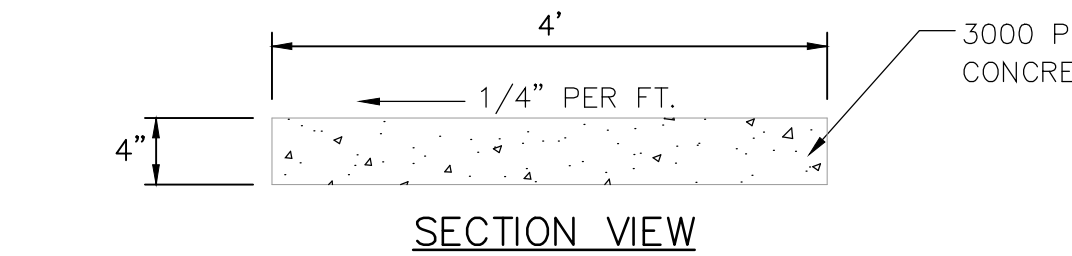
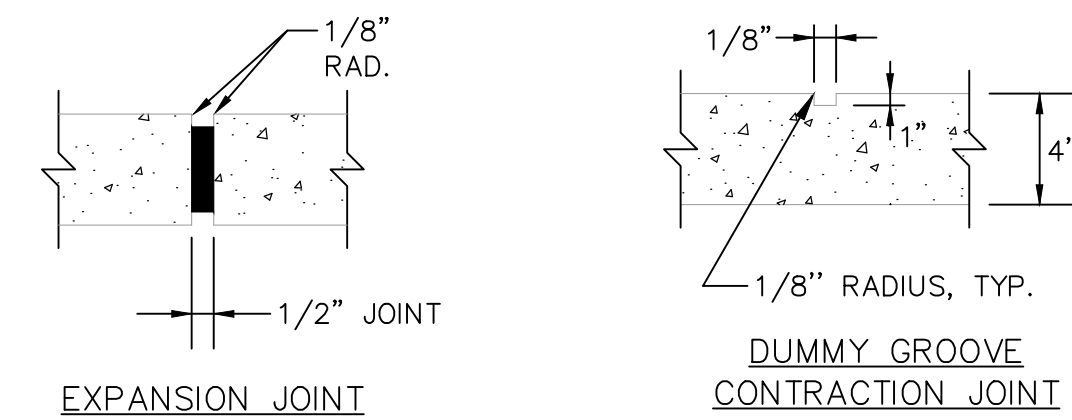
PEI JOB#: 15332.PE

RELEASED FOR CONSTRUCTION



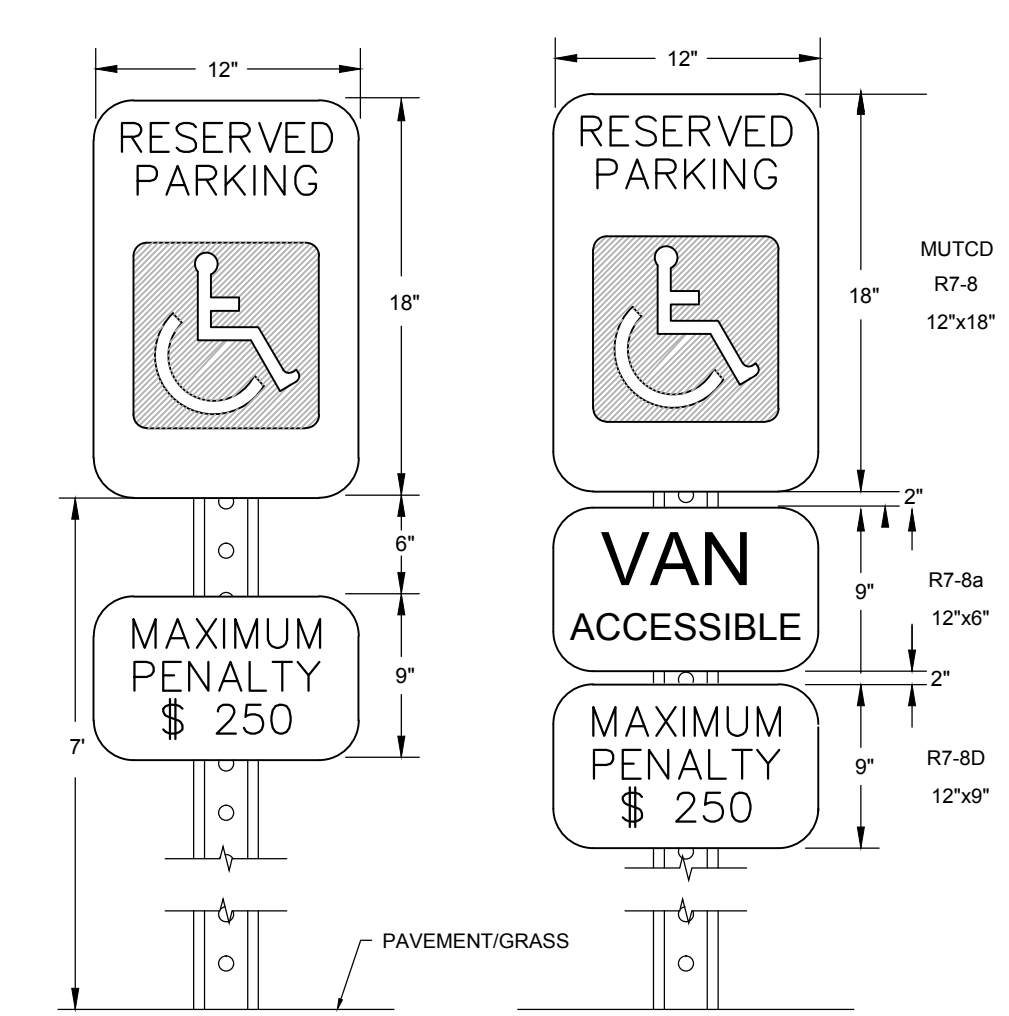
- NOTES:
- REBAR SPACING AND HOLE SIZES SHALL BE COORDINATED WITH WHEEL STOP MANUFACTURER.
  - REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS.

**CONCRETE WHEEL STOP DETAIL**  
NOT TO SCALE



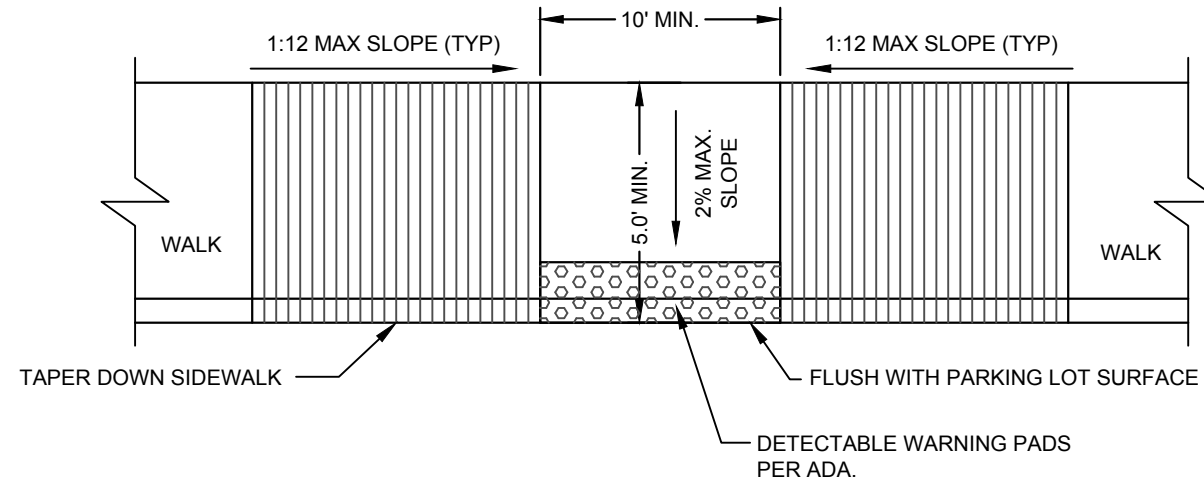
- NOTES:
- REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

**SIDEWALK AND TURN-DOWN WALK DETAILS**  
NOT TO SCALE



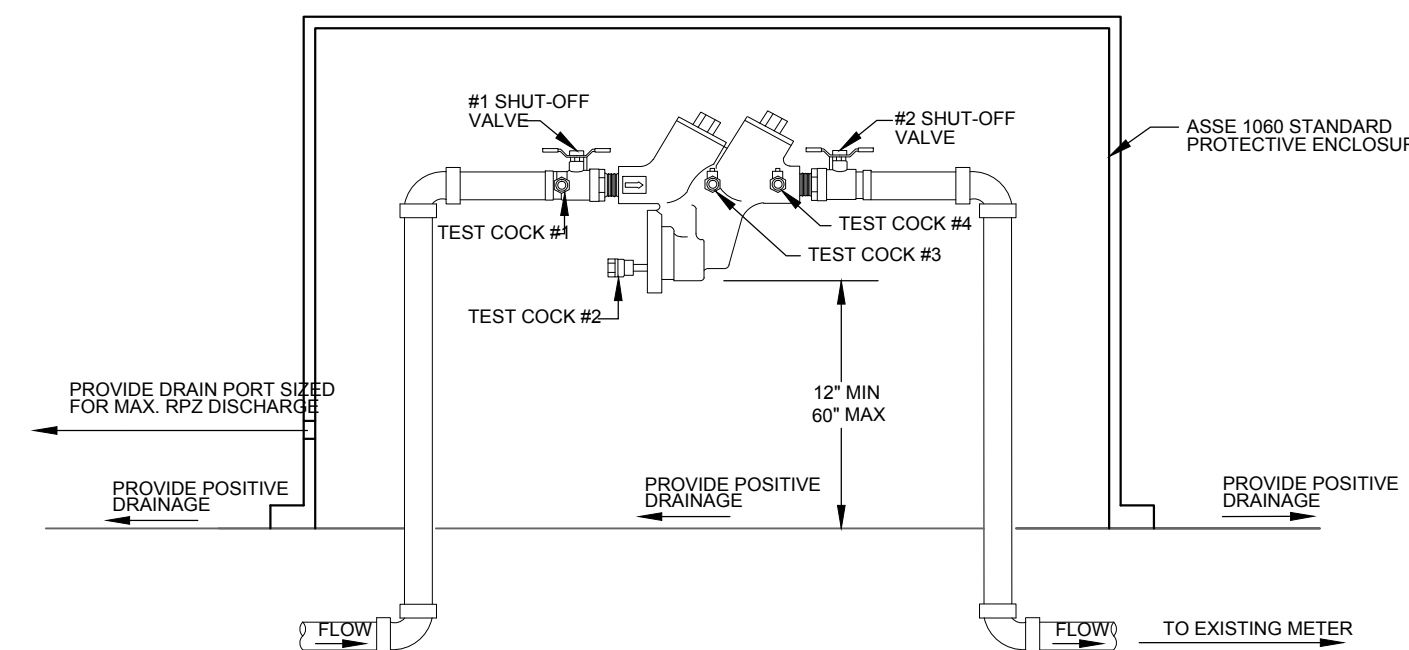
- NOTES:
- METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-90.
  - POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
  - CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
  - SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
  - TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHCAL" TRANSPARENT FILE #639.
  - REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
  - SIGN LETTERING SHALL BE NPS MODIFIED CLARENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
  - CORNER RADIUS OF SIGNS SHALL BE 2.5".
  - ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
  - MOUNT ON BUILDING OR METAL POST AS DIRECTED.

**HANDICAP SIGNAGE**  
NOT TO SCALE



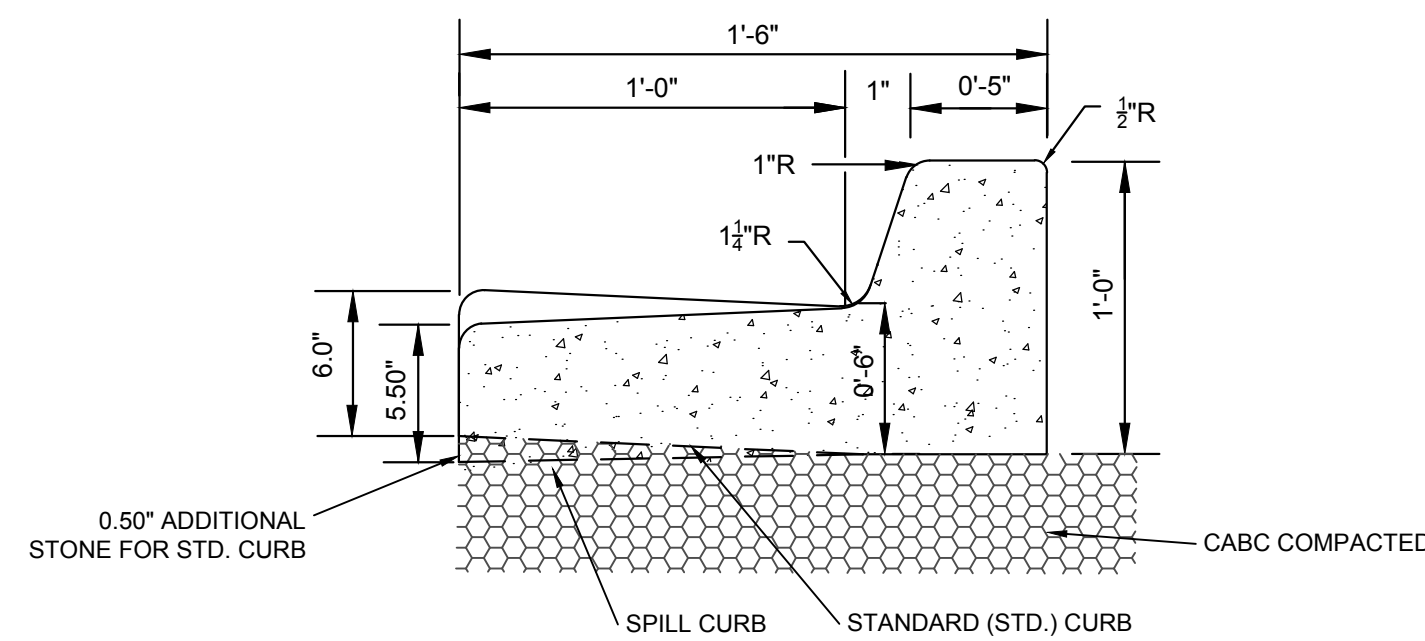
NOTE: REFER TO ADVANCE AUTO SITE DETAILS FOR PAVEMENT STRIPING.

**HANDICAP CURB ACCESS DETAIL**  
NOT TO SCALE



- BACKFLOW DEVICE NOTES:
- THE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED IN AN ACCESSIBLE LOCATION TO FACILITATE PERIODIC FIELD TESTING AND MAINTENANCE.
  - THE LOCATION SELECTED SHOULD HAVE ADEQUATE DRAINAGE FOR RELIEF VALVE DISCHARGE. THE DEVICE SHALL NOT BE PLACED WHERE IT MAY BECOME SUBMERGED IN STANDING WATER.
  - INSTALL THE DEVICE IN A HORIZONTAL POSITION WITH ADEQUATE CLEARANCE FROM WALLS AND/OR OBSTRUCTIONS. FOR TESTING AND MAINTENANCE, A 12" TO 30" CLEARANCE BETWEEN THE LOWER MOST PORTION OF THE DEVICE AND FLOOD GRADE OR FLOOR SHALL BE PROVIDED.
  - NO UNDERGROUND INSTALLATIONS ALLOWED.
  - REFERENCE CPVUA UTILITY STANDARDS AND SPECIFICATIONS FOR OTHER REQUIREMENTS.

**OUTDOOR HORIZONTAL INSTALLATION - REDUCED PRESSURE PRINCIPLE ASSEMBLY**  
NOT TO SCALE



NOTE: SPILL CURB SHOULD BE USED FOR THIS PROJECT UNLESS CONTRACTOR ASKS FOR FIELD DIRECTIVE ON STANDARD CURB.

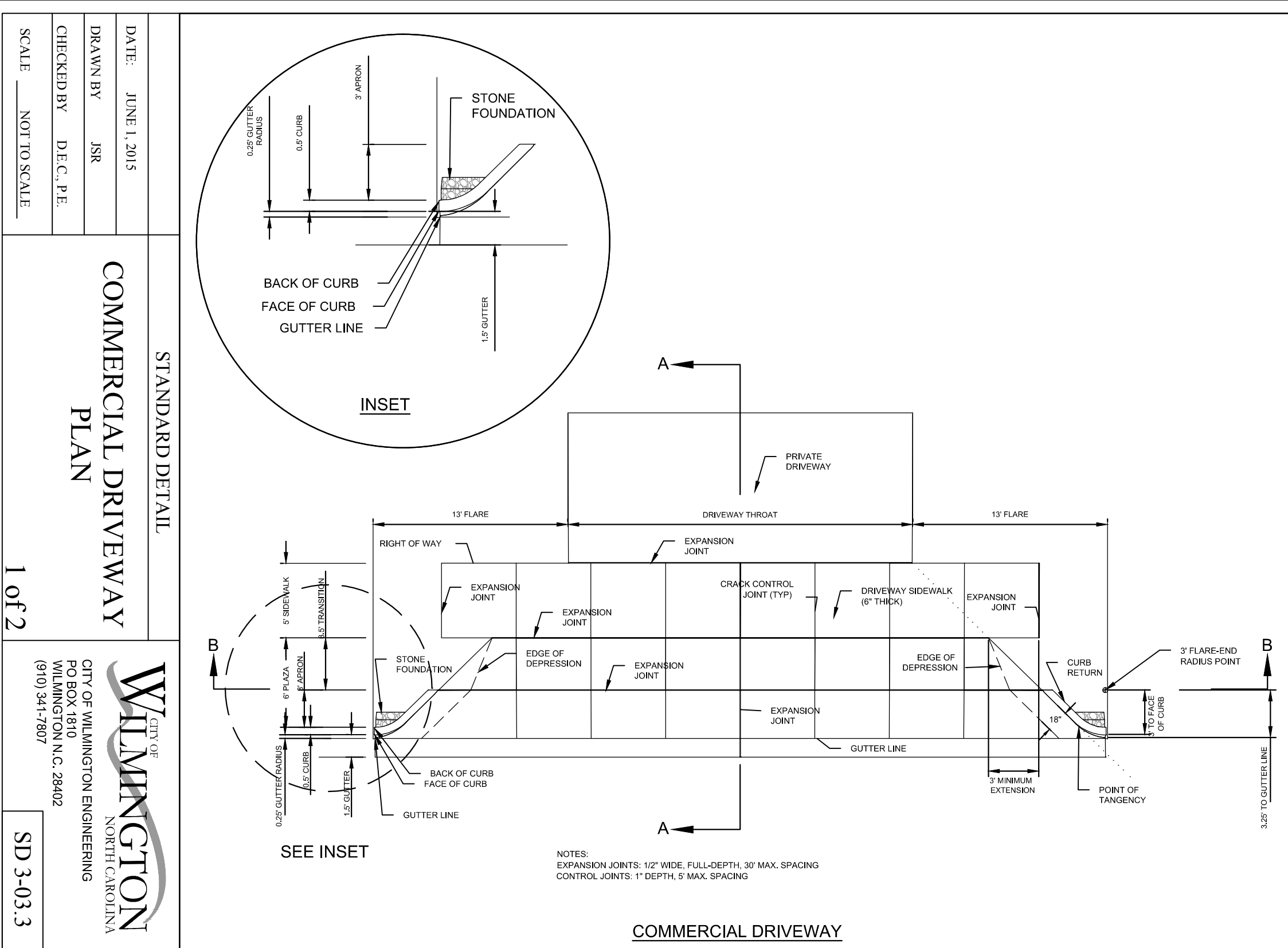
**18" CURB & GUTTER SECTION**  
NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

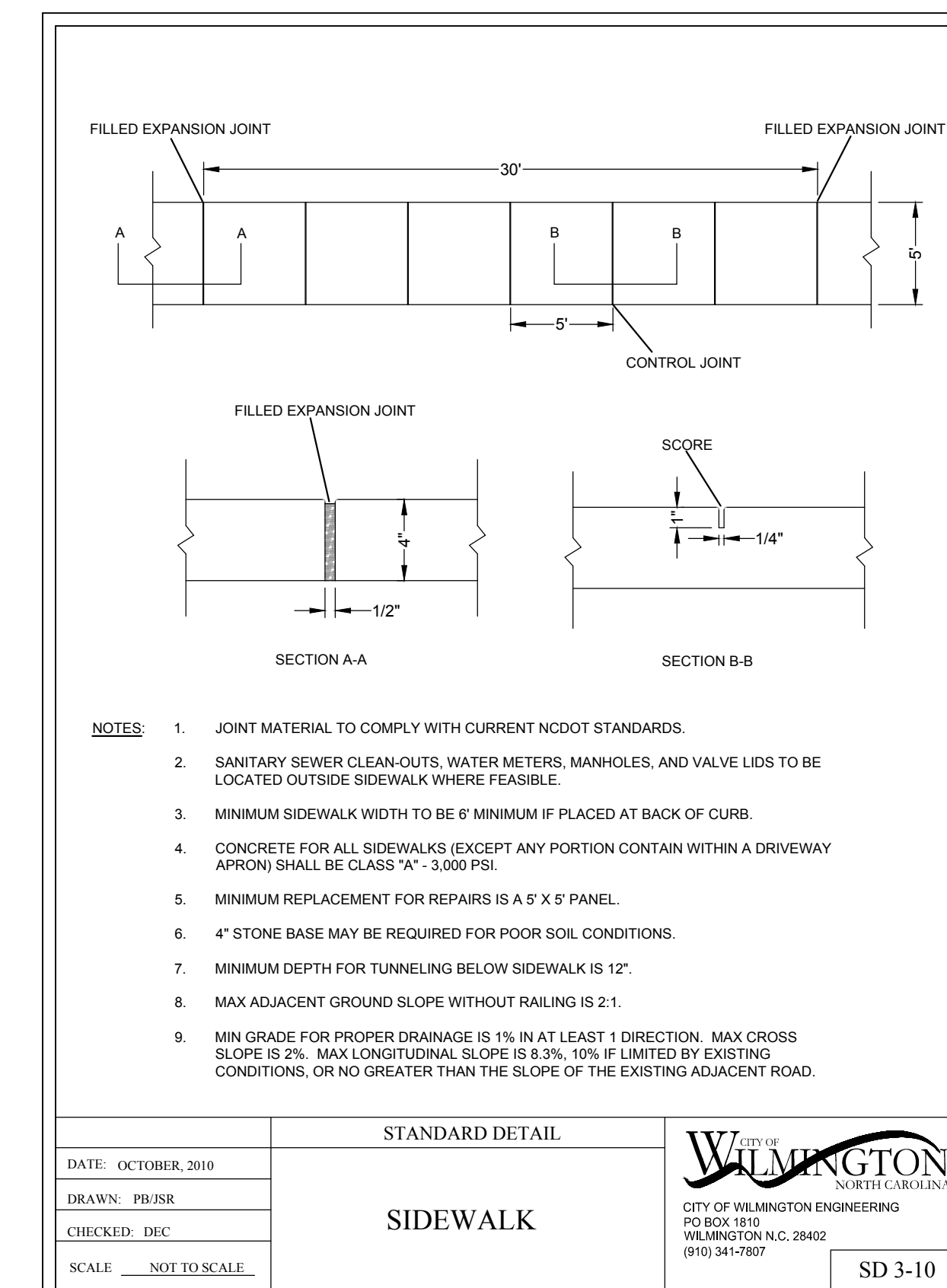
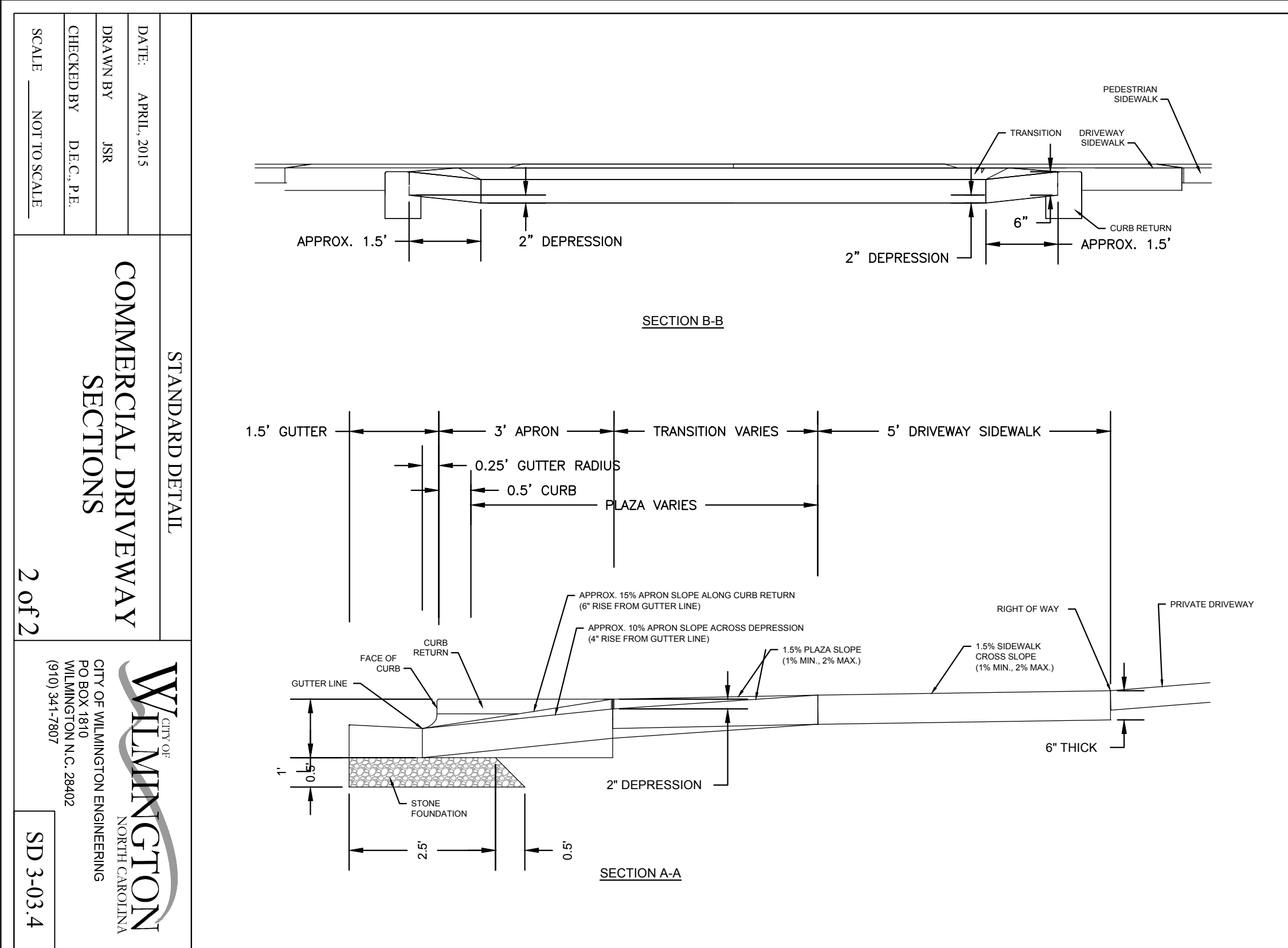
**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	



NOTES:  
EXPANSION JOINTS: 12" WIDE, FULL-DEPTH, 3/8" MAX. SPACING  
CONTROL JOINTS: 1" DEPTH, 5" MAX. SPACING



- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A", 3,000 PSI.
  - MINIMUM REPLACEMENT FOR REPAIRS IS A 6' X 6' PANEL.
  - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
  - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
  - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3%, 10% LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON N.C. 28402  
(910) 341-7807

DATE: OCTOBER, 2010  
DRAWN: PBUJR  
CHECKED: DEC  
SCALE: NOT TO SCALE

STANDARD DETAIL  
**SIDEWALK**  
SD 3-10

REVISIONS:

CLIENT INFORMATION:  
4121 OLEANDER DRIVE, LLC  
1131-B MILITARY CUTOFF ROAD  
WILMINGTON, NC 28405

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-0707 (O) (910) 791-6760 (F)  
NC License #: C-2846

DETAILS  
4121 OLEANDER DRIVE  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

PROJECT STATUS  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.

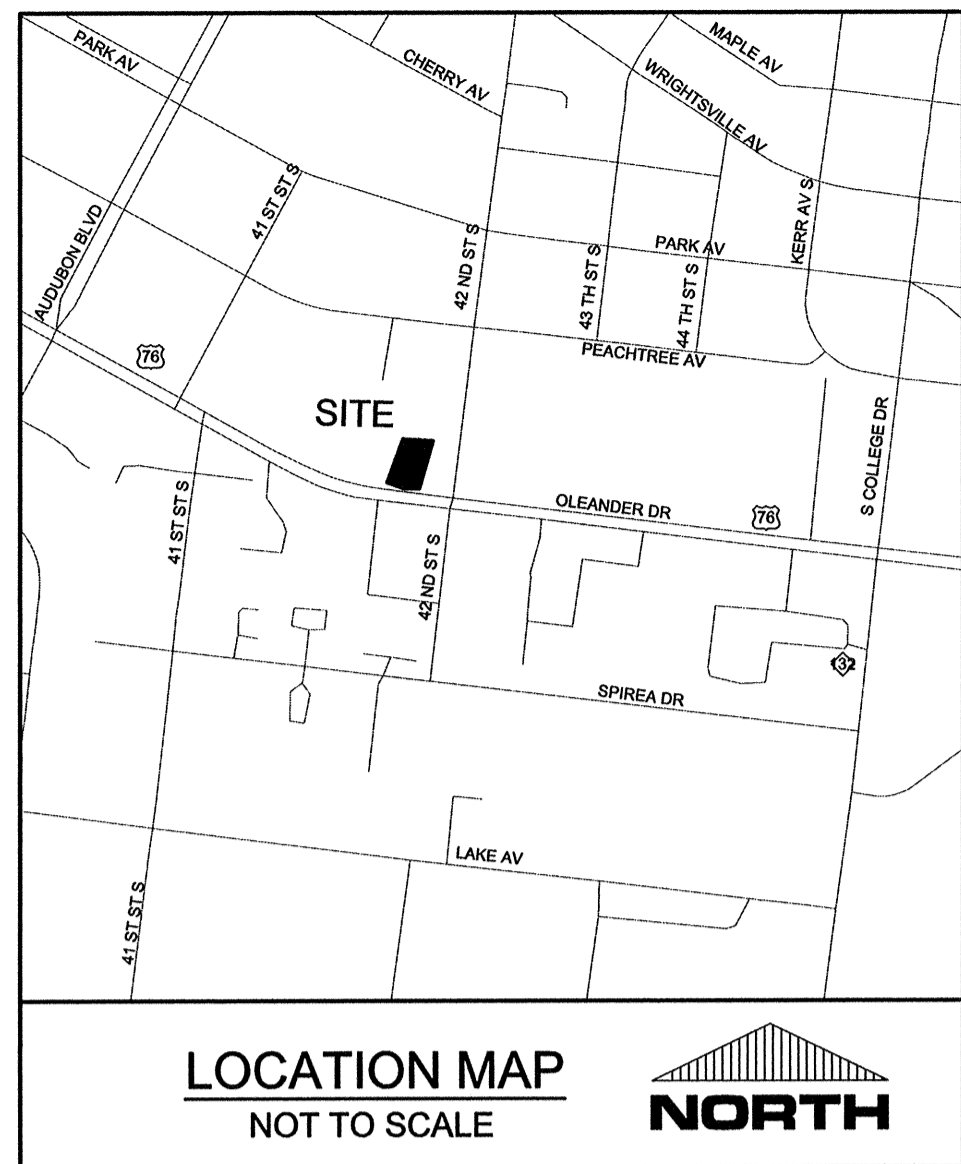
DRAWING INFORMATION  
DATE: 3/10/18  
RFB  
CLM  
RFB  
DESIGNED:  
DRAWN:  
CHECKED:

SEAL  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
034334  
JAMES BRANT SMITH

**C-4.0**

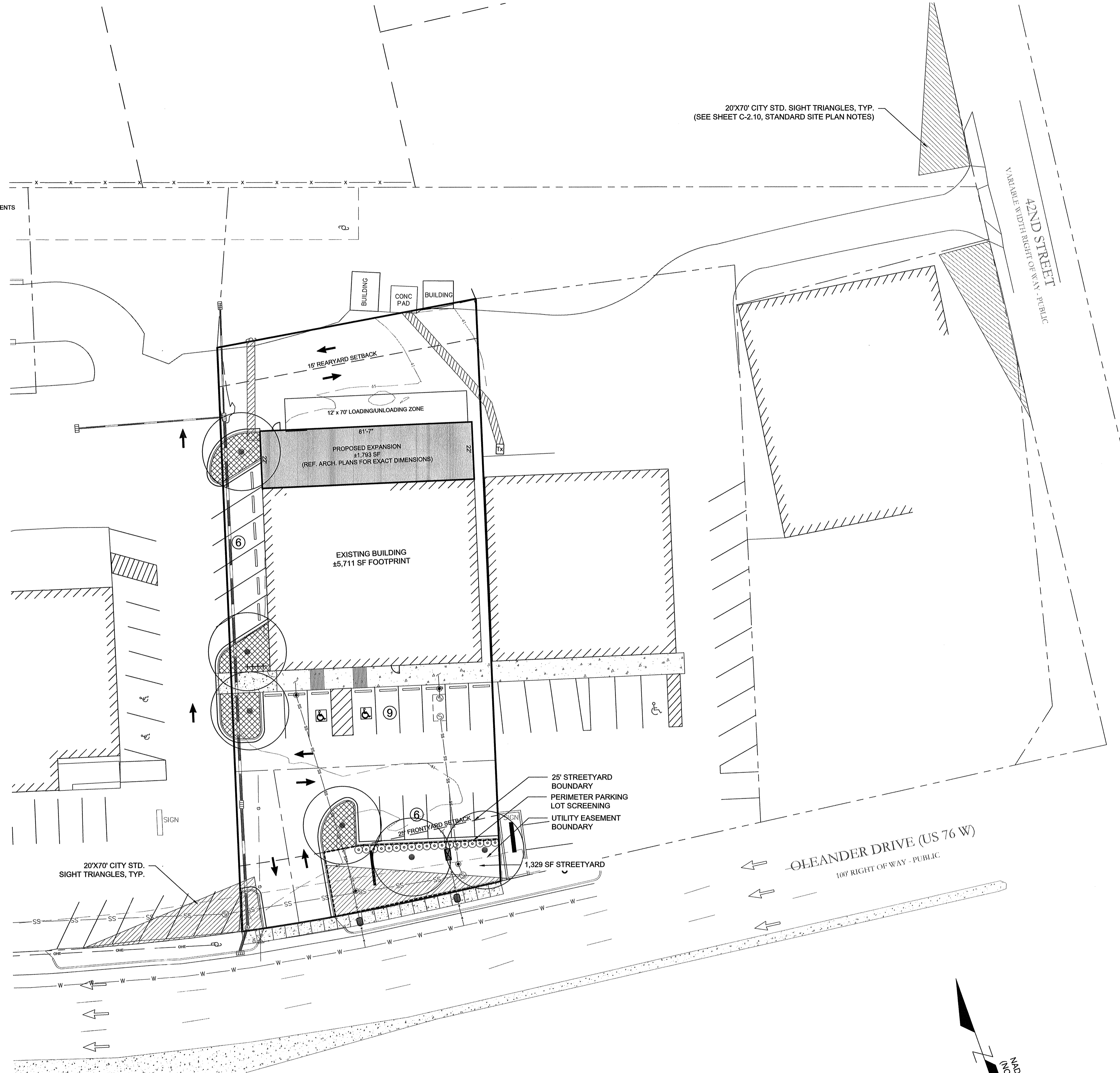
PEI JOB#: 15332.PE

RELEASED FOR CONSTRUCTION



**LEGEND:**

— OHE —	OVERHEAD ELECTRIC
— UT —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— UTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W — W — W —	WATER LINE
— SS — SS —	SANITARY SEWER LINE
— S — S — S —	STORM DRAINAGE LINE
— X — X —	FENCE (TYPE AS SPECIFIED)
— —	EXISTING CONTOUR
— —	RIGHT OF WAY/BOUNDARY
— —	BOUNDARY LINE
— —	PROPOSED SETBACKS
— —	PROPOSED BUFFERS/EASEMENTS
→	DRAINAGE FLOW ARROWS
▨	PROPOSED BUILDING
▨	CONCRETE PAVEMENT
▨	SIDEWALK
▨	ASPHALT PAVEMENT



**SITE DATA**  
 PROJECT NAME: ADVANCE AUTO PARTS STORE #105349  
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403  
 NHC PIN: R06106-001-001-003  
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC  
 SOURCE DEED: DEED BOOK 5932, PAGE 1957  
 AREA: 22,609± SF OR 0.52± ACRES  
 ZONING: RB (REGIONAL BUSINESS)  
 PROPOSED USE: RETAIL (AUTO PARTS SALES)  
 CAMA LAND USE: URBAN  
 EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

**DIMENSION REQUIREMENTS**

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'
MAXIMUM HEIGHT	35'	16'-2"

**BUILDING INFORMATION**  
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)  
 EXISTING BUILDING LOT COVERAGE: 30.3%  
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)  
 TOTAL BUILDING AREA PROPOSED: 7,504 SF  
 PROPOSED BUILDING LOT COVERAGE: 33.3%  
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

**PARKING INFORMATION**  
 PARKING REQUIREMENTS (RETAIL):  
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 18.8  
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 37.5  
 PROVIDED: 21 SPACES  
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES  
 HC SPACES PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 5 SPACES  
 BICYCLE PARKING PROVIDED: 5 SPACES

**LANDSCAPE CALCULATIONS**  
 STREET YARD REQUIRED  
 [(LENGTH OF PROPERTY FRONTAGE - DRIVEWAY) X 25] X 1/2  
 [(101 LF - 36 LF)] X 25 X 1/2 = 813 SF

STREET YARD PROVIDED	1,329 SF
STREET YARD TREES REQUIRED (0.5 / 600 SF)	2
STREET YARD TREES PROVIDED	2
STREET YARD SHRUBS REQUIRED (3 / 600 SF)	6
STREET YARD SHRUBS PROVIDED	19

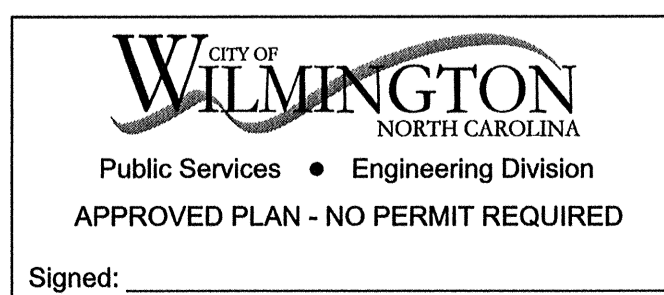
INTERIOR LANDSCAPING REQUIRED  
 (6% OF VEHICULAR USE AREA)  
 12,431 SF X 0.06 = 746

INTERIOR LANDSCAPING PROVIDED  
 (4 TREES @ 707 SF = 2,828)

**PLANT SCHEDULE**

TREES	CODE	COMMON NAME	SIZE	QTY	REMARKS	
○	LO	SOUTHERN LIVE OAK Quercus virginiana	2.5" CAL.	6		
SHRUBS	CODE	COMMON NAME	CONT	QTY	REMARKS	
○	DYH	DWARF YAUPON (5' X 5') Ilex vomitoria 'Nana'	3 GAL	19		
GROUND COVERS	CODE	COMMON NAME	CONT	SPACING	QTY	REMARKS
▨	AJ	ASIATIC JASMINE Trachelospermum asiaticum 'Asiatic'	1 GAL	18" o.c.	438	

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**Approved Construction Plan**

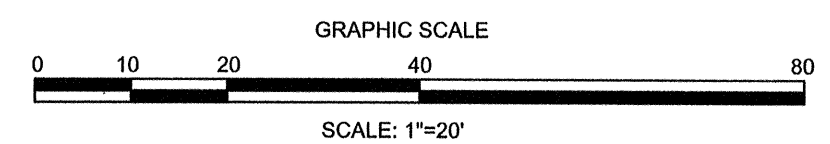
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Signed: \_\_\_\_\_



RELEASED FOR CONSTRUCTION

**REVISIONS:**


**CLIENT INFORMATION:**  
 4121 OLEANDER DRIVE, LLC  
 1131-B MILITARY CUTOFF ROAD  
 WILMINGTON, NC 28405

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 122 Cinema Drive  
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 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**LANDSCAPE PLAN**  
 4121 OLEANDER DRIVE  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**PROJECT STATUS:**  
 PRELIMINARY LAYOUT: 9/7/16  
 RELEASED FOR CONST.: 11/20/16  
 DRAWING INFORMATION: 11/20/16  
 DATE: 11/20/16  
 SCALE: 1"=20'  
 DRAWN: BOB H. ENGBERTSON  
 CHECKED: J.C. PFE

**SEAL:**  
 BOB H. ENGBERTSON  
 NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 NO. 88,000,111

**L-1.0**

PEI JOB#: 15332.PE